

4 February 2022  
OUR REF: 2017

Trent Wink  
Senior Planner  
CoGDAP Secretariat  
Central Coast and Hunter  
6 Stewart Avenue, Newcastle West  
NSW 2302

Dear Trent

**RE: 60 & 62-64 SHOWGROUND ROAD GOSFORD  
(LOTS 1-4 ON SP 20095 AND LOTS 1-6 ON SP 20058) –  
PROPOSED MIXED USE DEVELOPMENT INCLUDING  
INTEGRATED HEALTH HUB FACILITY AND SPECIALIST  
DISABILITY ACCOMMODATION – CITY OF GOSFORD DESIGN  
ADVISORY PANEL MEETING**

**Introduction**

We write to you on behalf of Cornerstone Healthcare Properties in relation to the above project, and our meeting with the City of Gosford Design Advisory Panel on 8 December 2021.

Thank you for the minutes of that meeting, and we appreciate the opportunity to again meet with the panel on 16 February 2022.

Following the matters raised in the minutes of the 8 December meeting, please find enclosed the following documents for the next meeting:

1. **Attachment A** - Amended drawings prepared by Elevation Architecture as per Table 1 below:
2. **Attachment B** – Amended landscape design prepared by Terras Landscape Architects as per Table 1 below:

**Table 1 Amended Architectural and Landscape Drawings**

Drawings prepared by Elevation Architecture		
Drawing Number	Drawing Title	Revision
00.01	Context and Locality Plans	A
01.01	Site Plan	B
01.02	Existing Survey	A
03.01	Floor Plan - Basement 4	E

Drawings prepared by Elevation Architecture		
03.02	Floor Plan – Basement 3	E
03.03	Floor Plan – Basement 2	E
03.04	Floor Plan – Basement 1	F
03.05	Floor Plan - Ground Floor	G
03.06	Floor Plan - First Floor	F
03.07	Floor Plan – Second Floor	E
03.08	Floor Plan – Third Floor	E
03.09	Floor Plan – Fourth Floor	E
03.10	Floor Plan – Fifth Floor	F
04.01	Roof Plan	C
09.01	Elevations - North and East	D
09.02	Elevation – South and West	D
10.01	Section A	D
10.02	Section B	D
10.03	Section C	D
22.01	North-Eastern Perspective	D
22.02	Showground Road Perspective	D
22.03	South-Eastern Perspective	D
22.04	Showground Road Context	D
Drawings prepared by Terras Landscape Architects		
01	Concept Design – ground floor	E
02	Concept Design – ground floor retaining wall	E
03	Concept Design – ground floor retaining wall	E
04	Concept Design – ground floor retaining wall	E
05	Concept Design – first floor	E
06	Concept Palette	E
07	Concept Design – fifth floor garden	E
08	Concept Design – fifth floor garden	E
09	Concept Palette – precedent images	E
10	Concept Palette	E
11	Concept Palette – podium roof garden	E

## Amendments

In particular, the following amendments have been made to the proposed building:

### **Basement**

- Rearrange car spaces to accommodate new SDA lift location;
- Reconfigure fire stairs;
- Reconfigure ramp between ground floor and basement 1

### **Ground Floor**

- Relocate western wall 4m away from rear boundary;
- Increased the size of the garden bed (and provided tiered garden beds) along the Western edge
- Reposition café close to centre of Showground Road frontage;
- Increase lobby width and reconfigure building entry to enhance visual connection with the street;
- Provide stairs that are aligned with the main lobby;
- Reconfigure SDA lobby location for clear accessibility though still providing a separate entry from the main lobby;
- Remove seating bays facing the footpath to be replaced with seating on the ground floor verandah;
- Provide stairs at the southern end of the verandah to connect to the footpath;
- Remove street awning;
- Realign driveway entry and increase southern setback at ground floor to 4.8m to ensure that the columns at the edge of the driveway align with the building edge above. The 4.8m setback creates the opportunity to incorporate substantial planting.

It should be noted that the ground floor GFA has been reduced to 975.4m<sup>2</sup>, down from 998m<sup>2</sup> shown in the DRG round 2 meeting.

### **Levels 1-3**

- Internal corridor continues through to northern façade to enhance outlook and sunlight.

### **SDA Level**

- New SDA lift location

### **External Elevations**

- The number of façade types have been simplified to three, to provide a consistent and cohesive aesthetic for the building

## Development Metrics

The breakdown of site floor space, parking, and maximum building height is detailed in Table 2 below:

**Table 2 Development Metrics**

Metric	Proposed
Parking	224 basement parking spaces
Retail GFA	82.1m <sup>2</sup>
Medical Centre GFA	7005m <sup>2</sup>
Residential GFA	647m <sup>2</sup>
Total GFA	7734m <sup>2</sup>
Maximum Building Height	22.9m - maximum on southern side

### Issues/Response Table

Table 3 below sets out how and where the matters raised by the Design Advisory Panel have been addressed.



**Table 3 – Issues/Response Table**

Issue	Revised Drawings	Comments
<p><b>Building Footprint</b></p> <p>The rear courtyard is not very successful as an external space being located below ground level. It is understood from the presentation that the ground floor occupants only require limited windows along this façade, therefore it suggested that the design team investigate the option of constructing the ground floor level to the property boundary (zero lot line) to increase GFA, which may compensate for other design trade-offs to achieve design excellence.</p>	<p>A-DA-03.05</p>	<p>The building footprint has been altered by relocating the western wall 4m away from the rear boundary at ground floor level to ensure a better proportioned external space and facilitate fire egress path and landscaping. By retaining a 4m setback for the ground floor and levels above, direct/indirect natural light will flow into this space (combined with garden beds) and provide a better amenity for the rooms positioned along the Western edge on the ground floor.</p>
<p><b>Ground Floor Layout</b></p> <p>The café and entry to north is supported and the relationship to the car park works well. Is there an opportunity to move the Café to the front tenancy building to increase the activation and passive surveillance along Showground Road?</p> <p>The Northern façade of the building is well resolved. Has any progress been made with the adjoining neighbour about the removal of concrete retaining wall to improve public accessibility and to open up this entry area?</p> <p>The following other design suggestions were also made to improve the design excellence outcomes:</p> <ul style="list-style-type: none"> <li>- Increase width of entry to lobby;</li> <li>- Provide a stronger visual and physical connection from the street to the entry, currently the visual connection is blocked by the planters and handrails. Reducing the finish floor level will reduce the need for long ramps.</li> <li>- Provide stairs at the southern end of the verandah to connect to the footpath;</li> <li>- Instead of seating bays at the footpath level, consider pop out seating bays along the verandah.</li> </ul>	<p>A-DA-03.05</p>	<p>The café has been repositioned close to centre of Showground Road frontage to increase the activation and passive surveillance along Showground Road.</p> <p>The entry lobby width has been increased and building entry reconfigured to provide a stronger visual connection with the street.</p> <p>The SDA lobby area has been reconfigured to be adjacent to the main building entry. This provides privacy and a dedicated lobby for residents/visitors to the SDA units.</p> <p>Seating bays facing the footpath have been removed and replaced with seating on the ground floor verandah.</p> <p>Stairs have been provided at the southern end of the verandah to increase access between the footpath and ground floor tenancies.</p>

Issue	Revised Drawings	Comments
<p><b>Façade Treatment</b></p> <p>The building façade, size and positioning of windows and use of material is heading in the right direction and makes a positive contribution to the evolving streetscape.</p> <p>It is suggested that the number of façade types could be simplified and reduced to three with only minor variations.</p> <p>Façade Types</p> <p>A - East facing grid</p> <p>B – Corner batten element</p> <p>C - FC cladding – with sun shading (with variation in different sun shading – horizontal vs vertical based on orientation)</p> <p>The eastern elevation (Showground Road) is considered well resolved. Consider applying the type C façade to the south and west elevations. Consider using Type B façade to distinguish the SDA façade at the upper level and create a top and battens can also assist privacy for this level as well.</p> <p>The material palette is well selected. It is suggested that the use of the darker face brick at the ground plane including planters, will provide a stronger contextual link.</p>	<p>A-DA-09.01 A-DA-09.02</p>	<p>The number of façade types have been simplified to three, to provide a consistent and cohesive aesthetic for the building.</p> <p>The windows have been consistently proportioned with minor amendments in each elevation (placement &amp; width) to create visual interest.</p>
<p><b>Street Awning</b></p> <p>The street awning should maintain the human scale of the building facade along Showground Road. The design team should undertake further design analysis and consider reducing its size and setback from the street.</p>	<p>A-DA-03.06</p>	<p>The street awning has been removed. The awning above the ‘verandah’ has been stepped to retain a human scale of the building and help the awning transition up to the scale of the entry awning.</p>

Issue	Revised Drawings	Comments
<p><b>Driveway Entrance</b></p> <p>The realignment and narrowing of the driveway entrance is an improvement, but the alignment is still considered an awkward geometry.</p> <p>Whilst, it is understood that the driveway has been designed around the electricity transformer and operational needs of the future occupants. The design team is encouraged to further explore options to amend the ground floor layout to facilitate the straightening of the driveway and lowering the finished floor level to reduce the ramp gradient.</p> <p>Straightening the driveway would make it possible to locate the columns under the façade above and to avoid the step in the façade. This step does not integrate well with the overall articulation of the façade. It should also make it possible to widen the landscape strip and provide deep soil to accommodate more substantial plantings along this boundary.</p>	<p>A-DA-03.05</p>	<p>The driveway entry has been realigned and the southern setback at ground floor increased to 4.8m to ensure that the columns at the edge of the driveway align with the building edge above. The 4.8m setback creates the opportunity to incorporate substantial planting. Substantial planting along the southern boundary will create privacy to the Southern neighbour.</p>
<p><b>Medical Suites</b></p> <p>The design team should consider continuing the corridors for the medical suites located on levels 1-3 to the northern façade for daylight and outlook.</p>	<p>A-DA-03.06 A-DA-03.07 A-DA-03.08</p>	<p>Levels 1-3 Internal corridor continues through to northern façade to enhance outlook and sunlight.</p>
<p><b>SDA Apartments</b></p> <p>The separate entrance to the specialist disability accommodation is supported, but the entry should be visible from the street and identifiable as a residential entrance.</p> <p>The design team should explore visual privacy measures for the SDA apartments along the western boundary. In addition, you should review the adequacy of the natural light being received within the SDA apartments. They are very deep and maybe a row of highlight windows</p>	<p>A-DA-03.05</p>	<p>The entry lobby width has been increased and building entry reconfigured to provide a stronger visual connection with the street.</p> <p>The SDA lobby area has been reconfigured to be part of main building entry.</p>

mid plan will provide light into the centre of the room and also provide light and ventilation to the bathrooms. It was commented that a curved awning linking the lobbies at the roof top level may be a better outcome.		
<b>ADG Compliance</b>  Do the upper levels of the development comply with the building and visual separation requirements? Provide an assessment of the SEPP 65 and ADG requirements, including solar access, building separation, visual privacy for the SDA apartments, storage requirements and landscape design. Areas of non-compliance should be justified for further discussion.	A-DA-03.10	See <b>table 4</b> below. This was part of the previous presentation to the DRG.  The width of the one bedroom apartments do not achieve compliance. This is due to the width available on the floor plate to design 6 apartments next to one another.
<b>Landscaping</b>  The landscape elements of the proposal are fundamental to design excellence. The proposed landscaping should complement the built form and architectural design of the building. Depending on how the building footprint, driveway alignment and street awning issues are resolved, there may be opportunity to provide more substantial plantings along the southern and eastern (Showground Road) boundaries.	Terras Drawing 01 Concept Design ground floor	The driveway entry has been realigned and the southern setback at ground floor increased to 4.8m. The 4.8m setback creates the opportunity to incorporate substantial planting. Substantial planting is also shown along the Showground Road boundary.

**Table 4 – Assessment of SEPP 65 and Apartment Design Guide Requirements**

Amenity			U01 (2 Bed)	U02 (1 Bed)	U03 (2 Bed)	U04 (2 Bed)	U05 (2 Bed)	U06 (1 Bed)	U07 (2 Bed)
4A	Solar Access	3 hours of direct sunlight between 9am & 3pm at mid-winter		Yes – POS, no to kitchen/ living	Yes – living/ kitchen, no to POS	Yes – living/ kitchen, no to POS	Yes – living/ kitchen, no to POS	Yes – living/ kitchen, no to POS	
4B	Cross Ventilation	Natural Cross Ventilation							
		Overall depth of a cross-over or cross-through apartment does not exceed 18m (glass line to glass line)							
4C	Ceiling	2.7m habitable 2.4m non-habitable							
4D-1	Apartment Size	Studio – 35sqm 1 Bedroom 50sqm 2 Bedroom 70sqm 3 Bedroom 90sqm							
		Every habitable room must have a window in an external wall							
4D-2		Habitable room depth limited to a maximum 2.5 x ceiling height (open plan) e.g. 2.7 x 2.5 = 8m max.							
4D-3		Master bedroom min. area = 10sqm							
		Bedrooms min. 3m dimension							
		Living rooms or combined living/dining min. width - 3.6m for studio or 1 bedroom - 4.0m for 2 and 3 bedrooms							
		Width of cross over to cross through apartments are at least 4m internally		3.75m wide				3.8m wide	
4E	Private open space & balconies	Studio = 4sqm 1 bedroom = 8sqm (min. depth 2m) 2 bedroom = 10sqm (min. depth 2m) 3 bedroom = 12sqm (min. depth 2.4m)							
		Apartments at ground level or podium level 15sqm	n/a	n/a	n/a	n/a	n/a	n/a	n/a



<b>4G</b>	<b>Storage</b>	1 Bedroom = 6m <sup>3</sup> 2 Bedroom = 8m <sup>3</sup>	<i>Final design to incl. 8m<sup>3</sup> of storage</i>	<i>Final design to incl. 6m<sup>3</sup> of storage</i>	<i>Final design to incl. 8m<sup>3</sup> of storage</i>	<i>Final design to incl. 8m<sup>3</sup> of storage</i>	<i>Final design to incl. 8m<sup>3</sup> of storage</i>	<i>Final design to incl. 6m<sup>3</sup> of storage</i>	<i>Final design to incl. 8m<sup>3</sup> of storage</i>
-----------	----------------	--	--	--	--	--	--	--	--

*\*Assumption for 4G that robes aren't included in this measurement*

<i>Compliant</i>	<i>Partially compliant</i>	<i>Non-compliant</i>
------------------	----------------------------	----------------------

## Conclusion

The project design team believe they have addressed the matters raised by the Design Advisory Group. The amended drawings incorporate significant changes which result in a building which properly responds to the surrounding built context, and which addresses the important issues of building sustainability and environmental performance through the use of techniques such as vertical and horizontal fins, aluminium batten screening, slab projections, roof eaves and the reduction of glazing.

The ground floor plane has been substantially improved and is now well resolved in terms of realigning the driveway entry and reconfiguring the building entry to provide a stronger visual connection with the street. This, together with the selection of materials and façade treatments and proposed landscape solution results in a building which will contribute positively towards the urban transformation and revitalisation of Gosford.

We trust that the information provided in this submission will enable the Design Advisory Group to endorse the project so that the development application can now formally be lodged with the Department.

Should you require any further information, please contact me.

Yours sincerely



**Andrew Biller**  
**DIRECTOR METROPLAN SERVICES**

## Attachments

- A. Amended drawings prepared by Elevation Architecture
- B. Amended landscape design prepared by Terras Landscape Architects

## **ATTACHMENT A**

Amended drawings prepared by Elevation Architecture

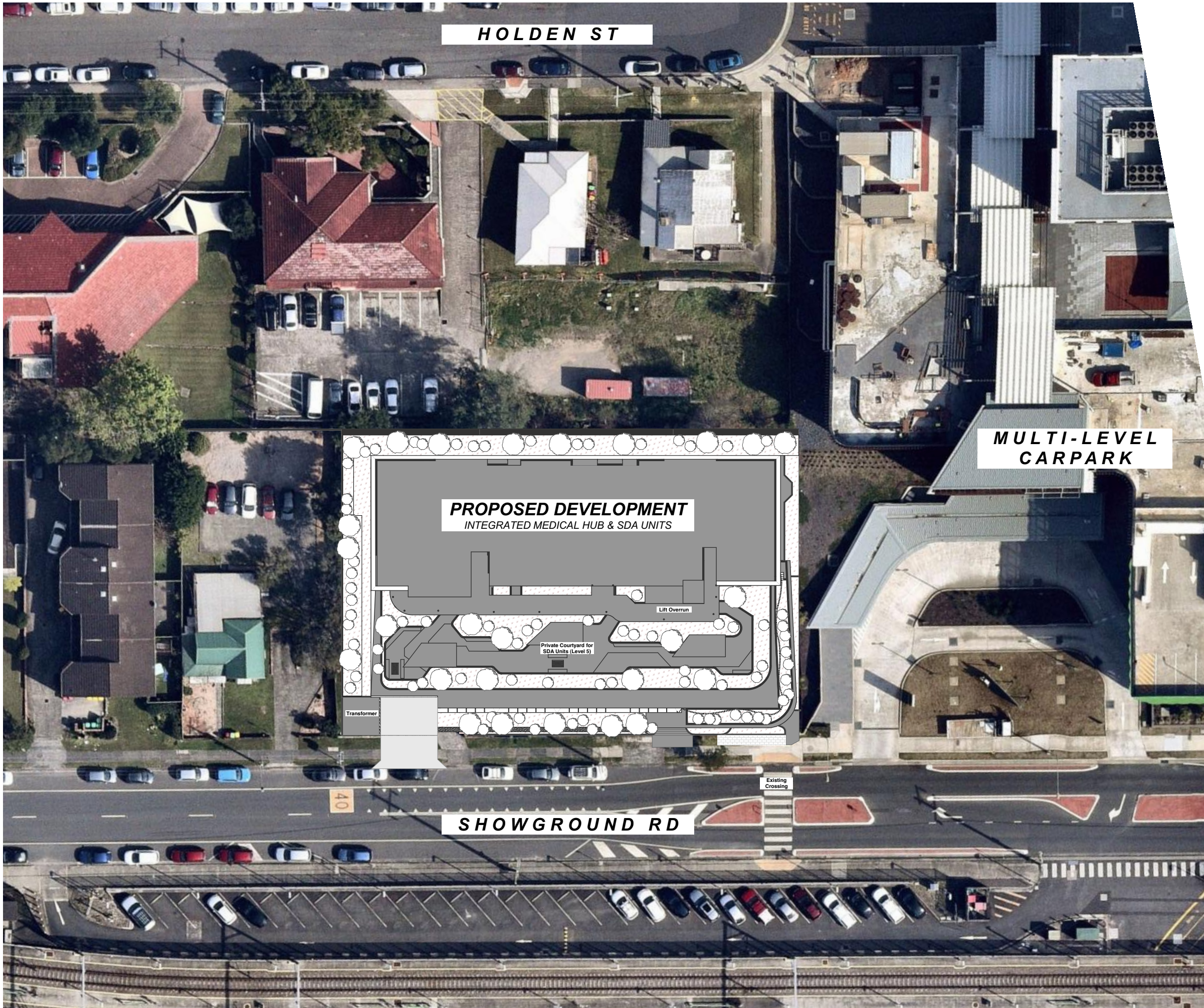


# Showground Road Integrated Medical Office Building

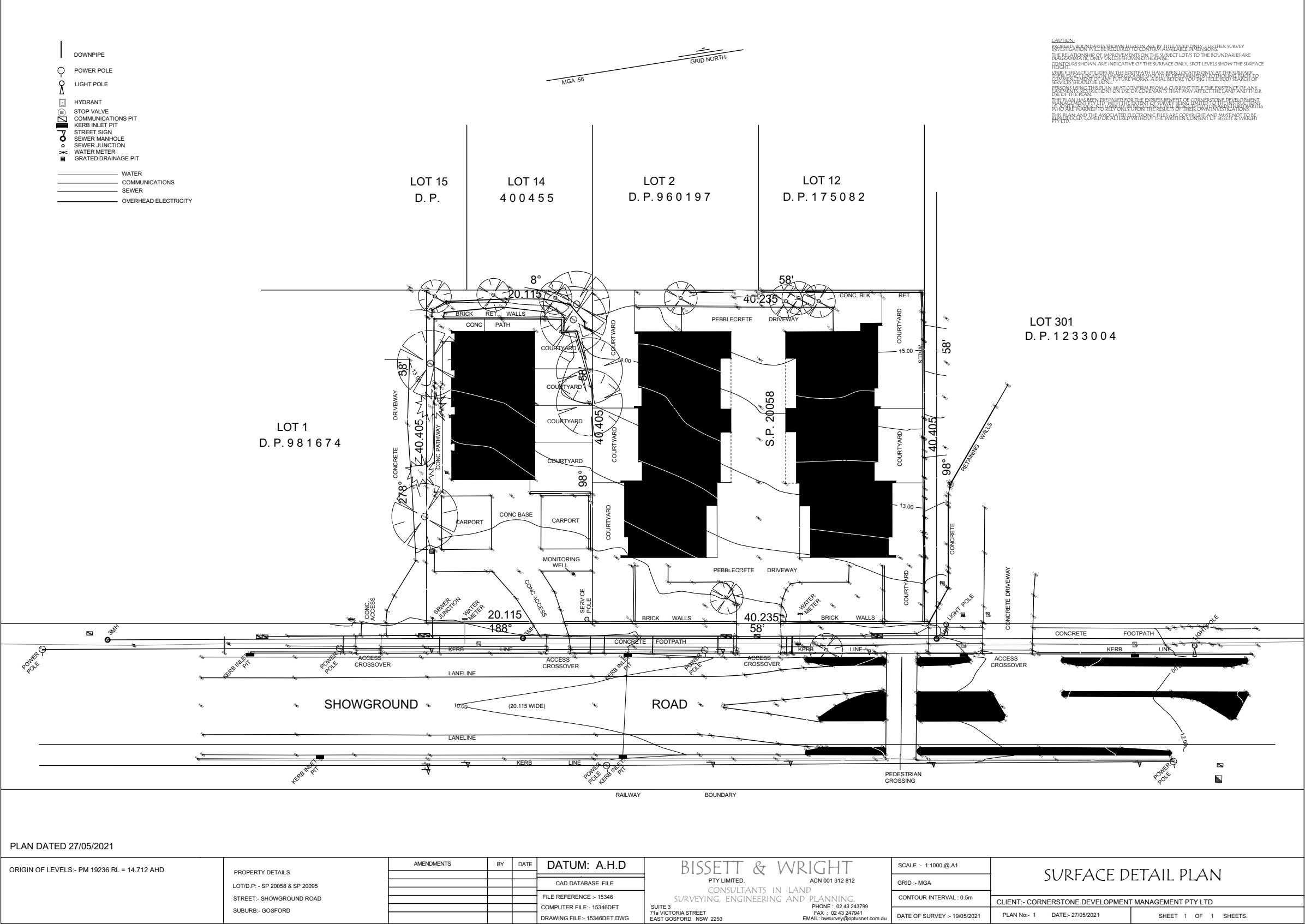


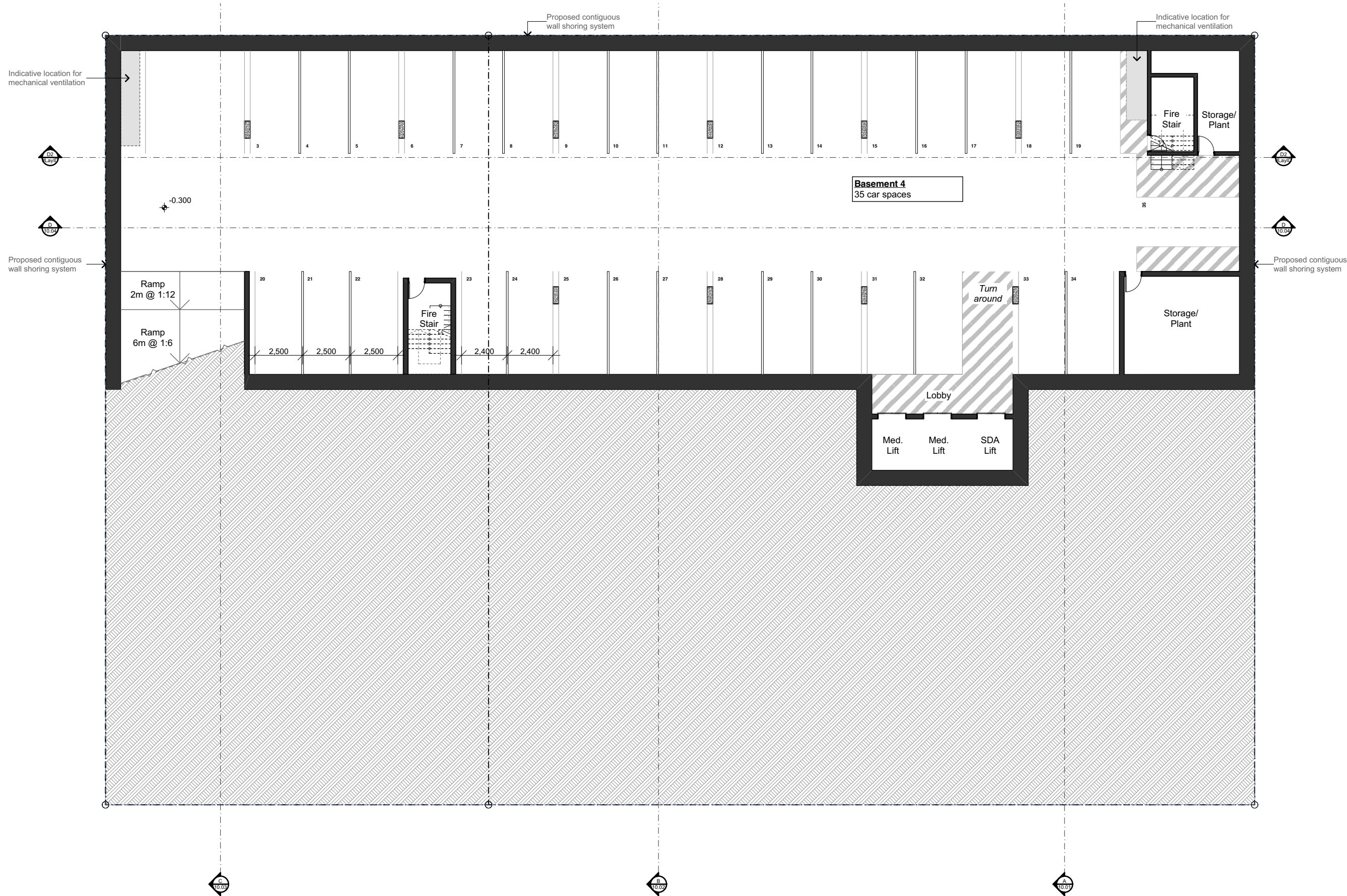
Drawing List	
Drawing No.	Drawing Name
00.01	Context & Locality Plans
01.01	Site Plan
01.02	Existing Survey
03.01	Floor Plan - Basement 4
03.02	Floor Plan - Basement 3
03.03	Floor Plan - Basement 2
03.04	Floor Plan - Basement 1
03.05	Floor Plan - Ground Floor
03.06	Floor Plan - First Floor
03.07	Floor Plan - Second Floor
03.08	Floor Plan - Third Floor
03.09	Floor Plan - Fourth Floor
03.10	Floor Plan - Fifth Floor
04.01	Roof Plan
09.01	Elevations - North & East
09.02	Elevations - South & West
10.01	Section A
10.02	Section B
10.03	Section C
22.01	North-Eastern Perspective
22.02	Showground Rd Perspective
22.03	South-Eastern Perspective
22.04	Showground Road Context











Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

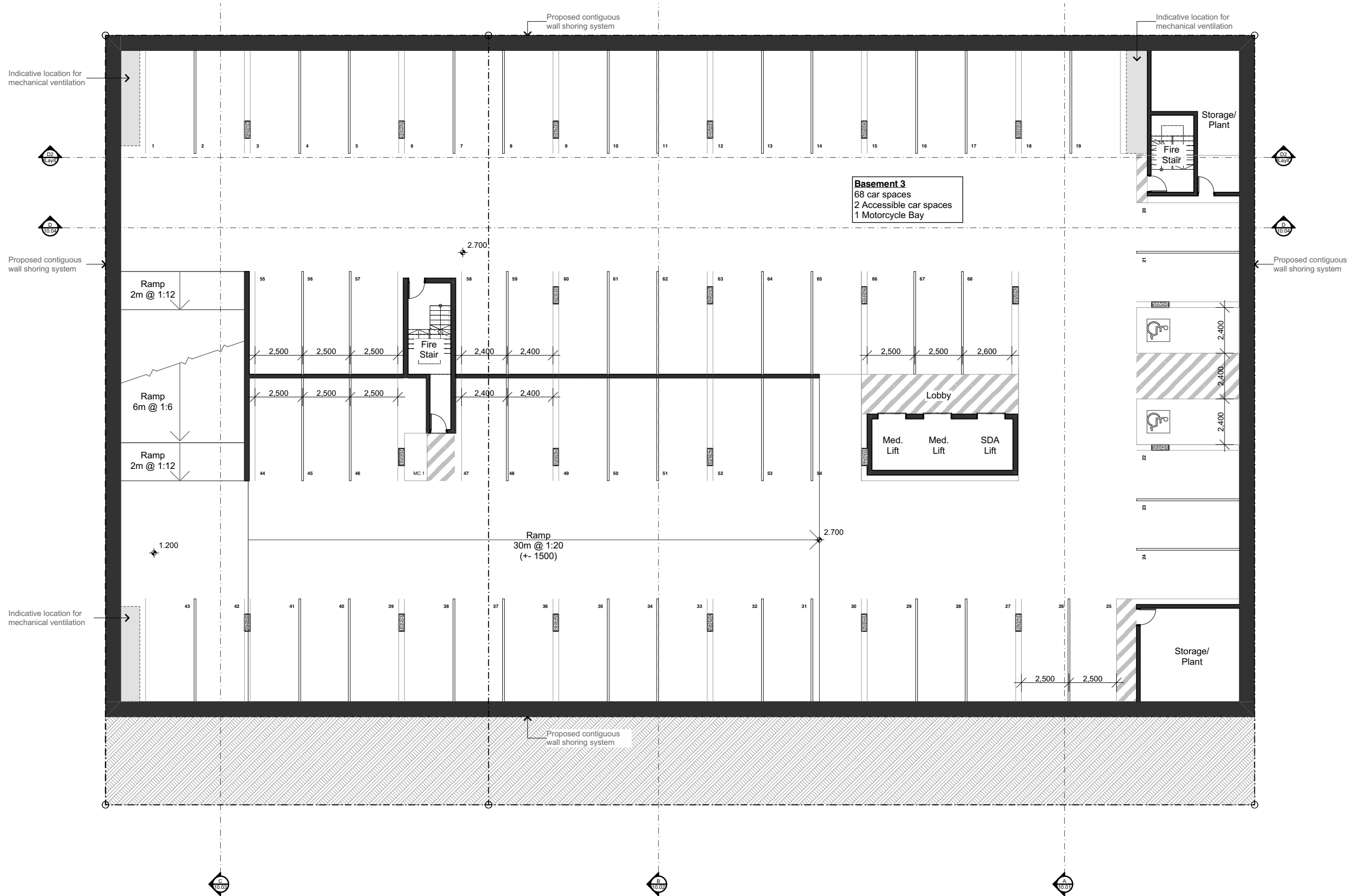


Floor Plan - Basement 4

A-DA-03.01

Revision

E



Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

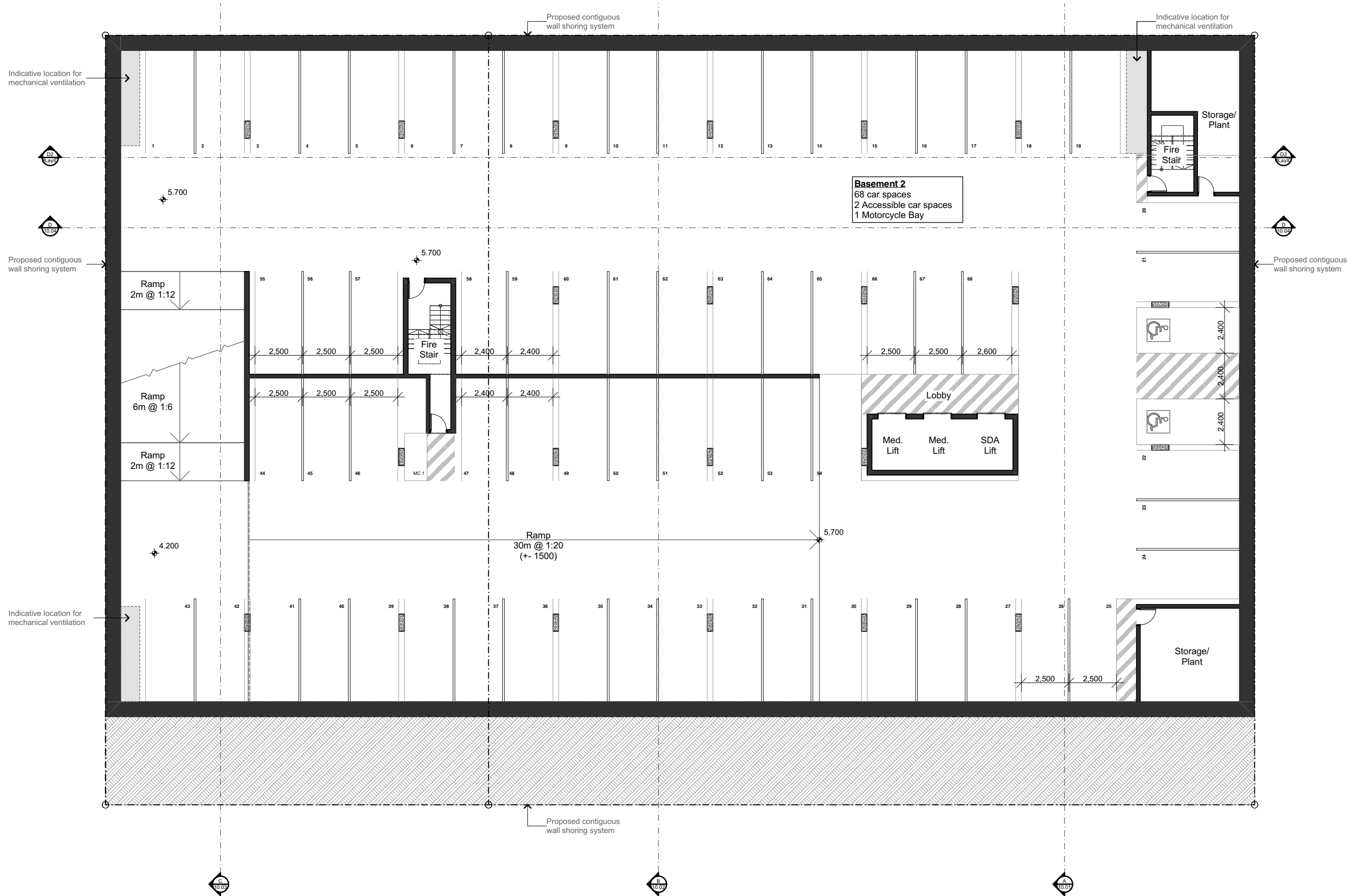


Floor Plan - Basement 3

A-DA-03.02

Revision

E



Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3



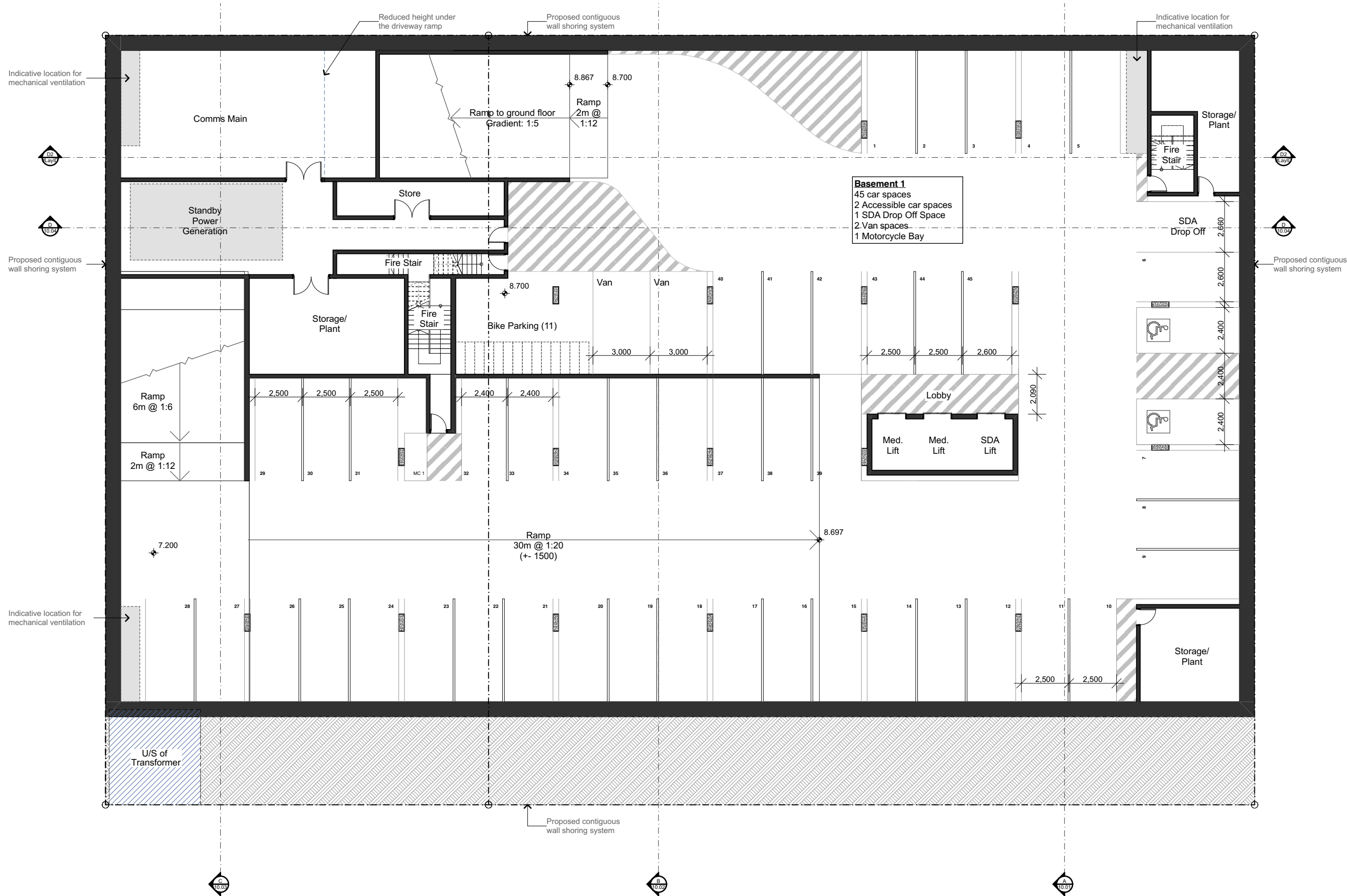
Floor Plan - Basement 2

A-DA-03.03

Revision

E





Revision

B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set
F	Updated Drawing Set

19/08/2021
1/12/2021
14/01/2022
18/01/2022
20/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

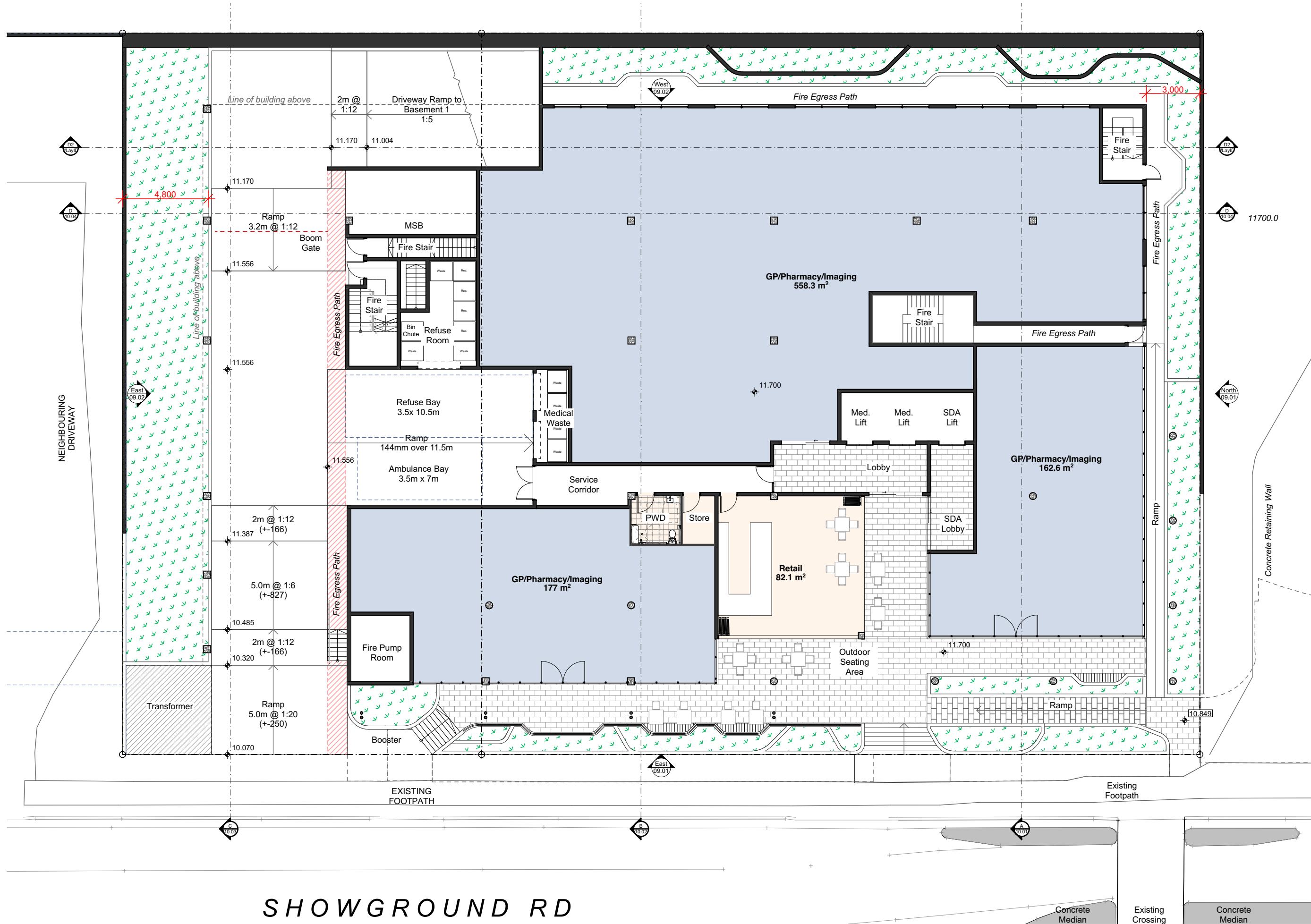


Floor Plan - Basement 1

A-DA-03.04

Revision

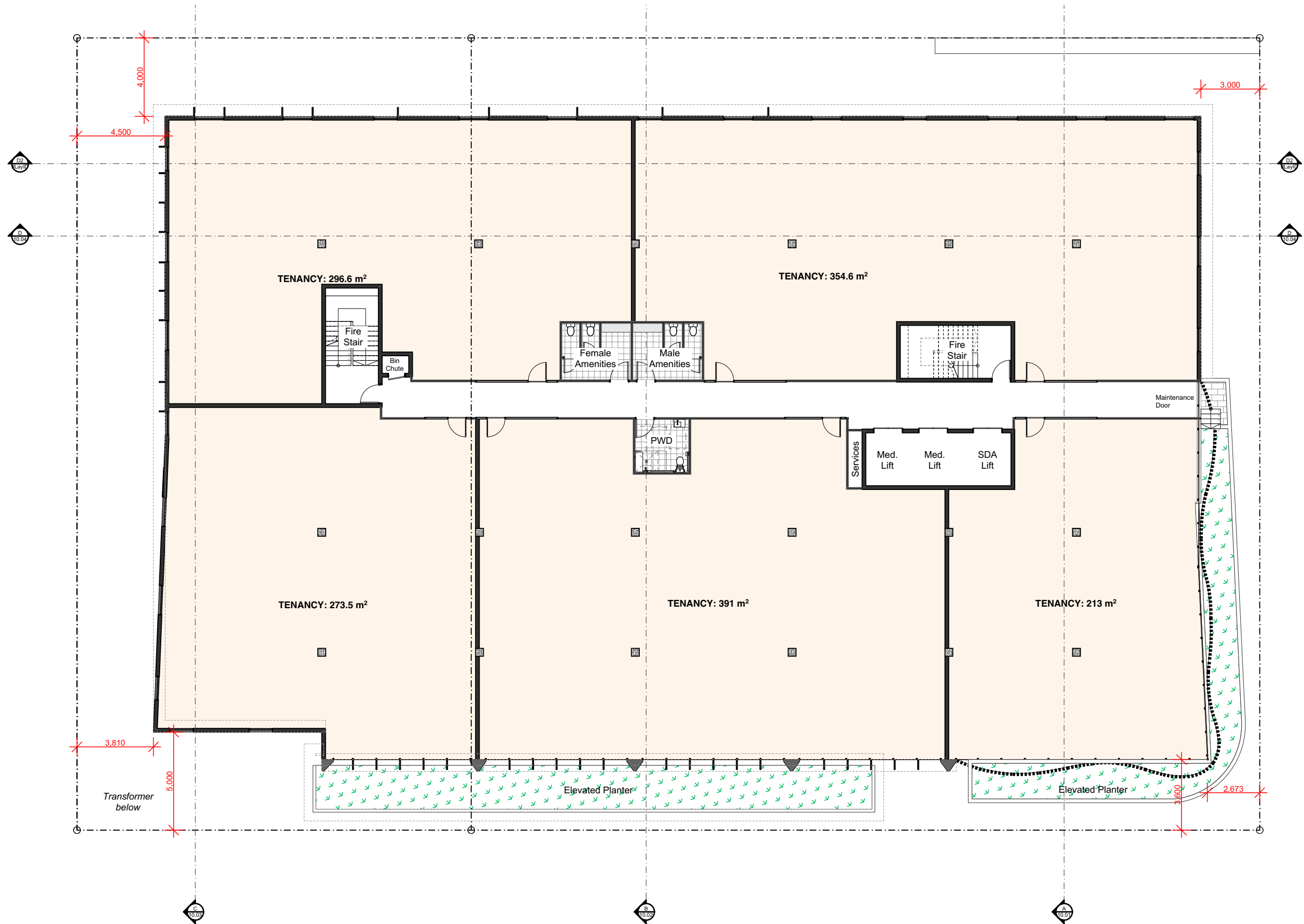
F



## SHOWGROUND RD







Revision

B	Updated Drawing Set
C	Updated Ground Level
D	Updated Drawing Set
E	Updated Drawing Set
F	Updated Drawing Set

19/08/2021
29/11/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

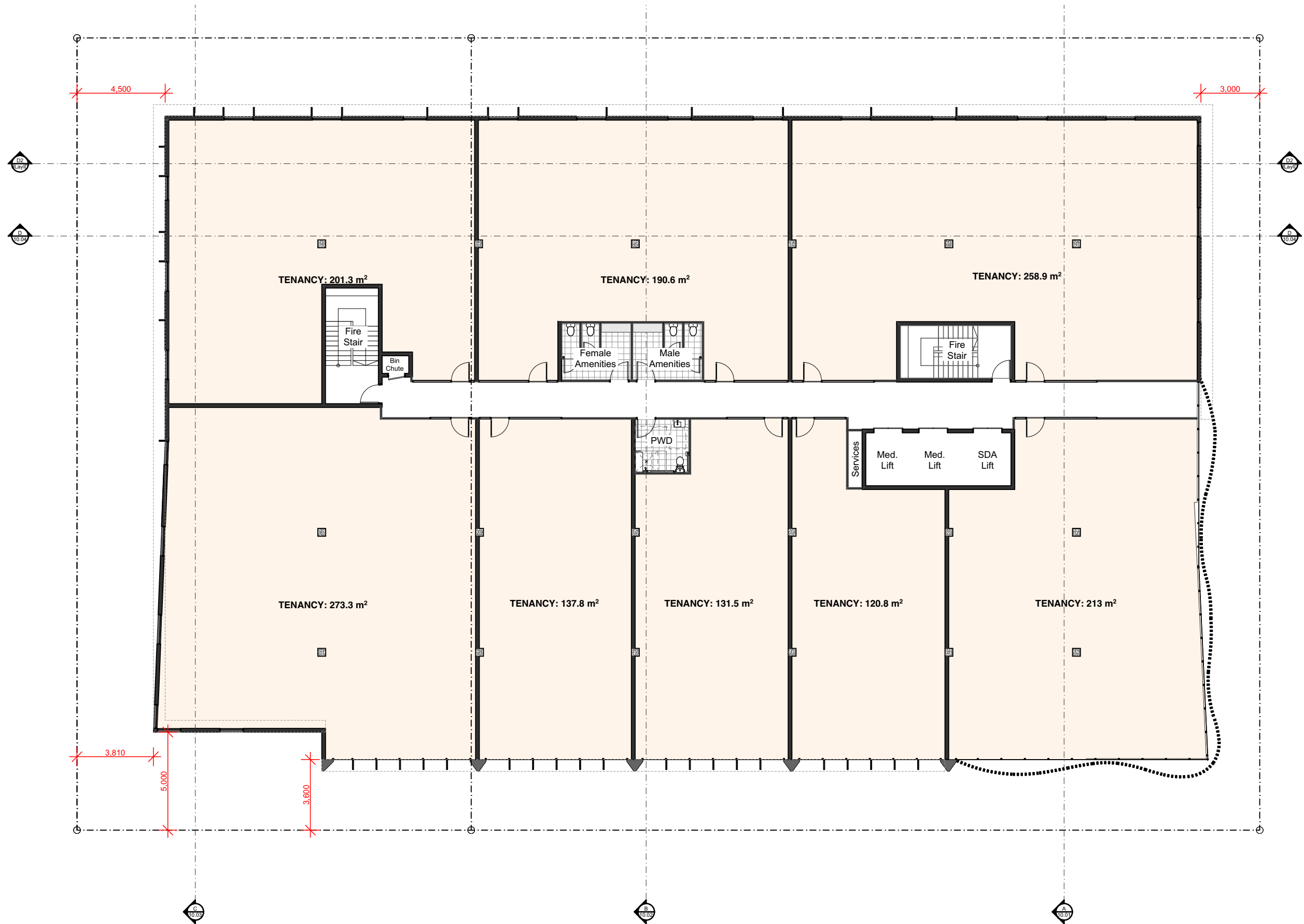


Floor Plan - First Floor

**A-DA-03.06**

Revision

**F**



Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3



Floor Plan - Second Floor

**A-DA-03.07**

Revision

**E**



Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client  
CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3



Floor Plan - Third Floor

A-DA-03.08

Revision

E



Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set
E	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
Client  
CHP

Architect

GA

Drawn  
DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3



Floor Plan - Fourth Floor

**A-DA-03.09**

Revision

**E**



Revision

B	Updated Drawing Set
C	Updated Fifth Level
D	Updated Drawing Set
E	Updated Drawing Set
F	Updated Drawing Set

19/08/2021
28/11/2021
1/12/2021
14/01/2022
18/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

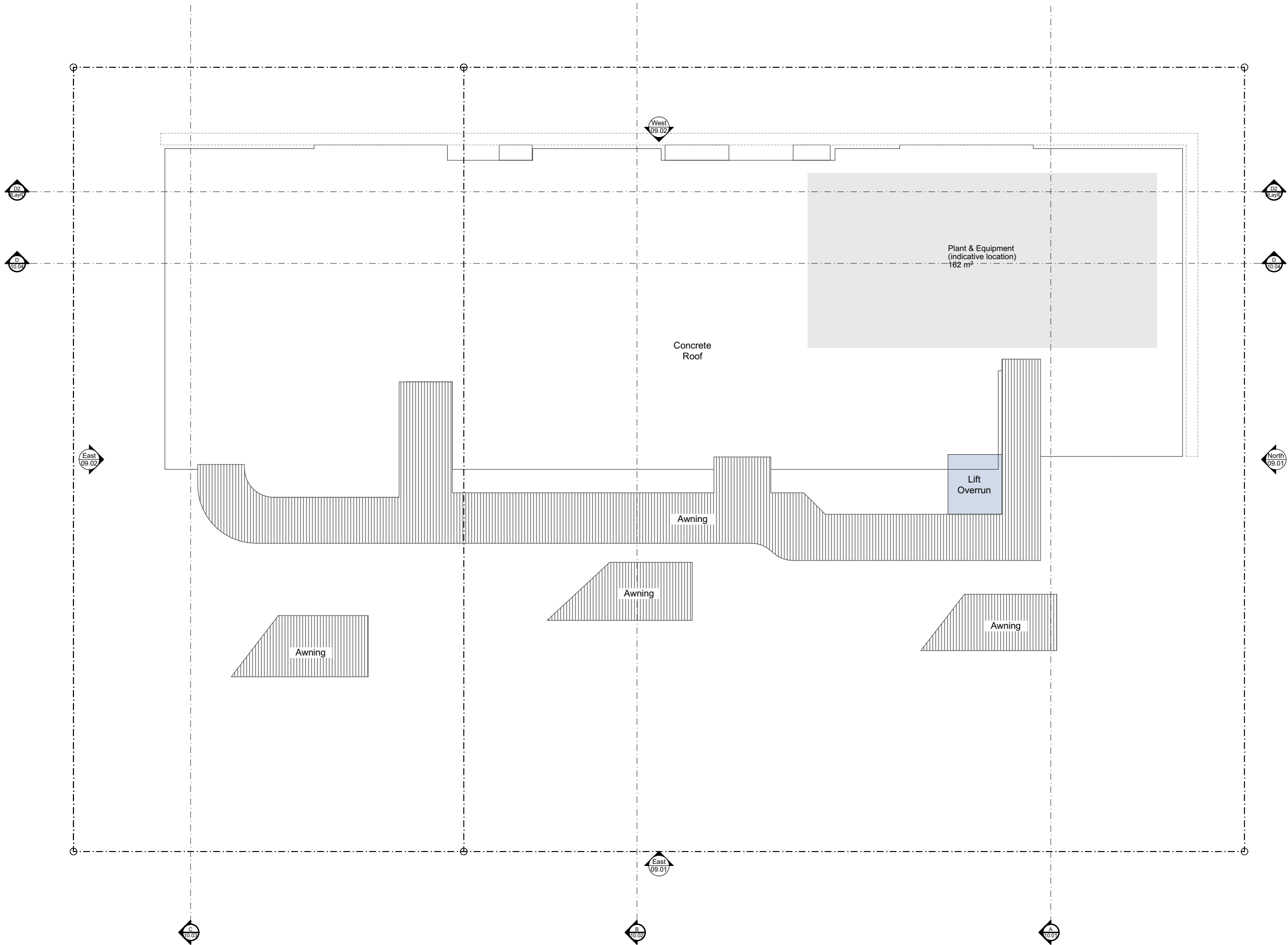


Floor Plan - Fifth Floor

A-DA-03.10

Revision

F



Revision

A	Updated Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set

19/08/2021  
1/12/2021  
27/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3



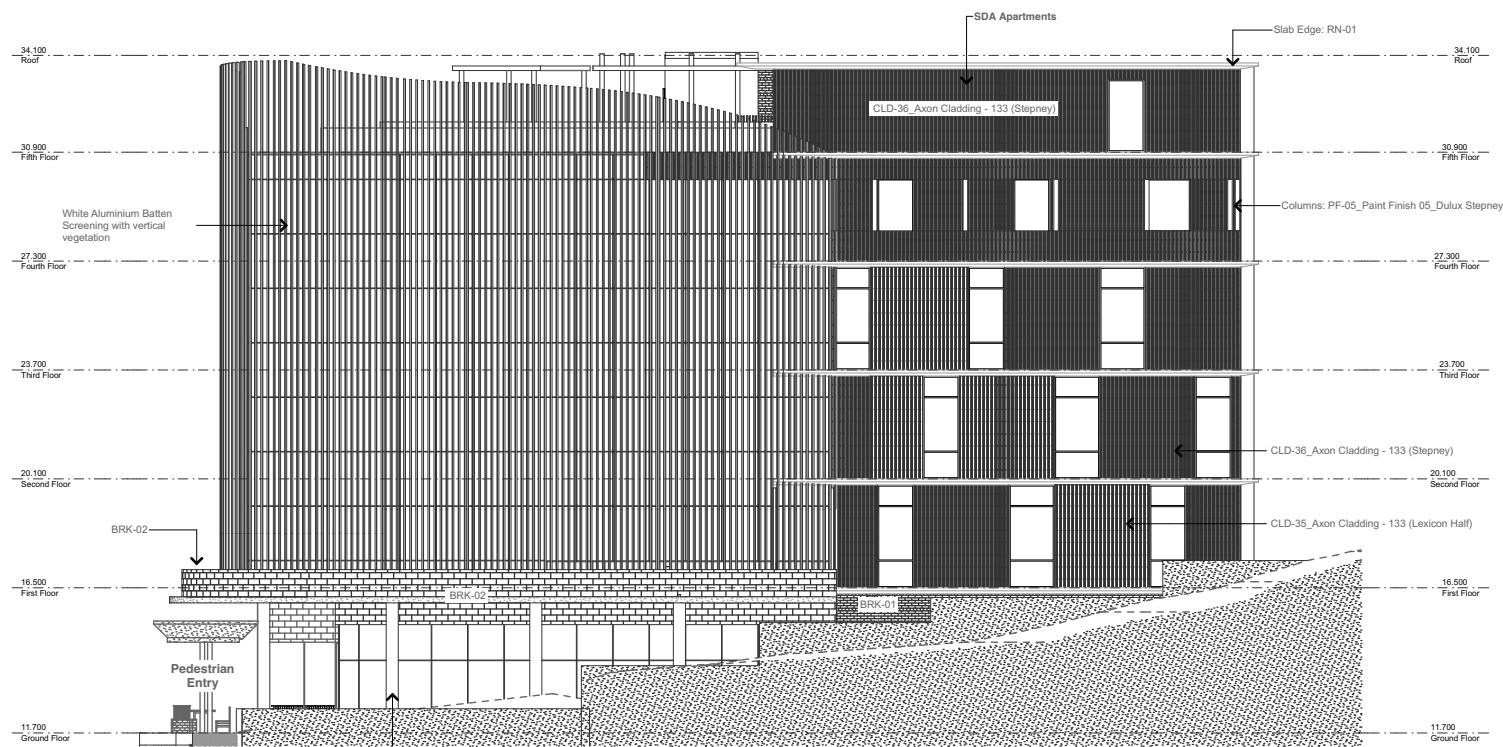
Roof Plan

A-DA-04.01

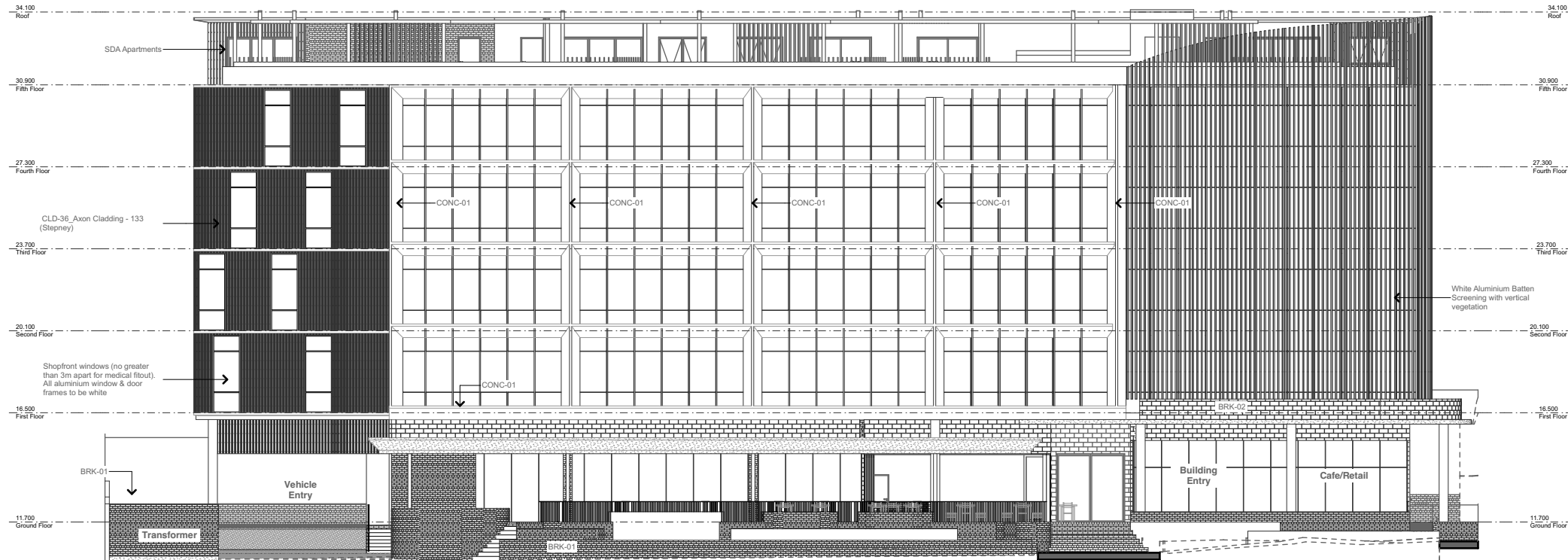
Revision

C

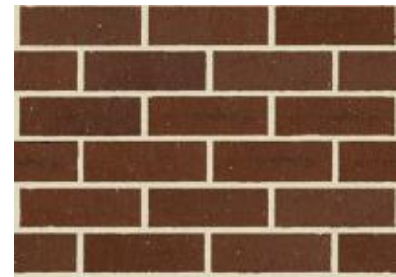




**1** North Elevation  
- Scale 1:250



**2** East Elevation  
- Scale 1:250



**BRK-01**  
Austral Bricks - Nubrik Pressed Bricks range - Spencer Tan



**BRK-02**  
Austral Bricks - La Paloma range - Castellana



**CONC-01**  
Exposed concrete finish - Dark concrete (north, east & west elevation)



**CONC-02**  
Concrete upstand - Eastern elevation

**Revision**

A	Elevations & Renders
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

16/07/2021
19/08/2021
1/12/2021
27/01/2022

**Project**

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

**Client**

CHP

**Architect**

GA

**Drawn**

DS

**Stage**

Concept

**Status**

SD (NOT FOR CONSTRUCTION)

**Project No.**

1174-03

**Scale**

1:250, 1:1,429 at A3

Elevations - North & East

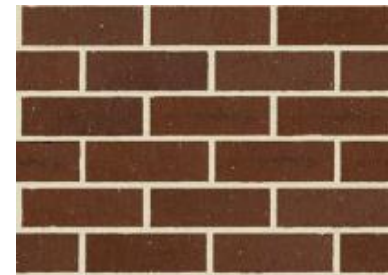
**A-DA-09.01**

**Revision**

**D**



**1** South Elevation  
- Scale 1:250



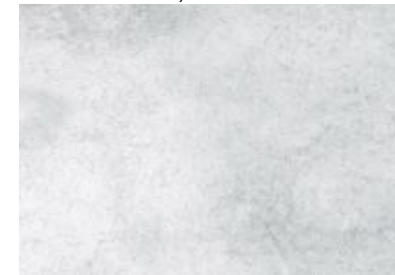
**BRK-01**  
Austral Bricks - Nubrik Pressed Bricks range - Spencer Tan



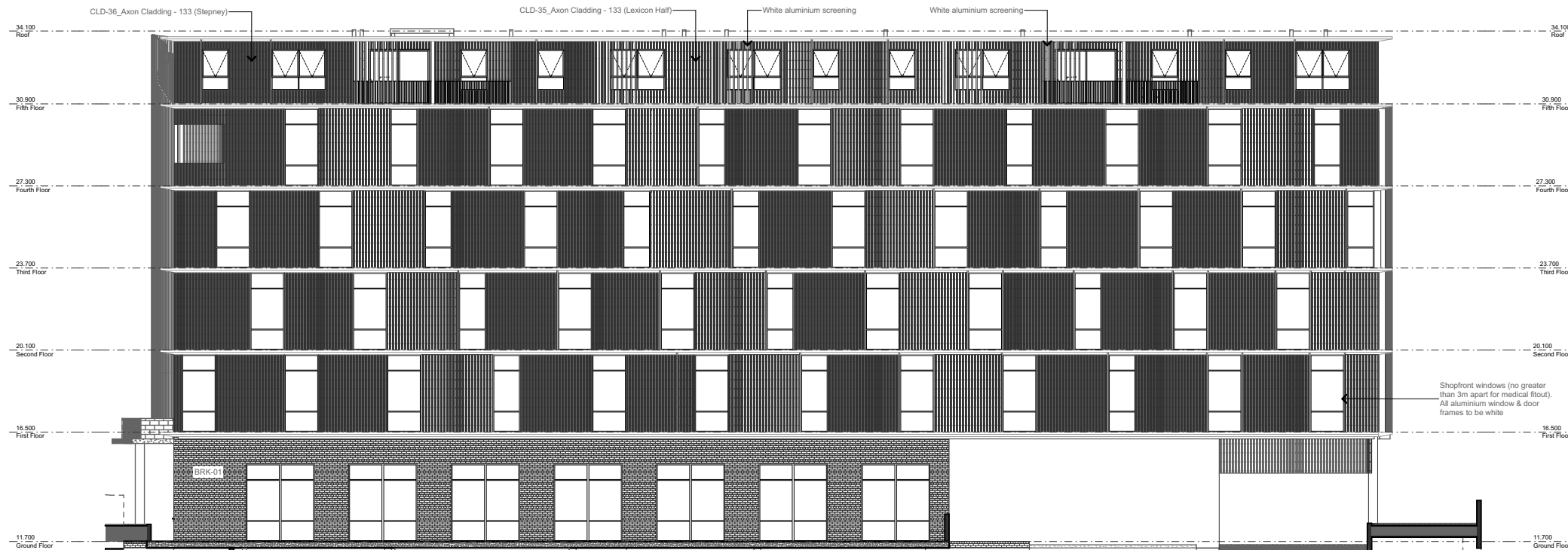
**BRK-02**  
Austral Bricks - La Paloma range - Castellana



**CONC-01**  
Exposed concrete finish - Dark concrete (north, east & west elevation)

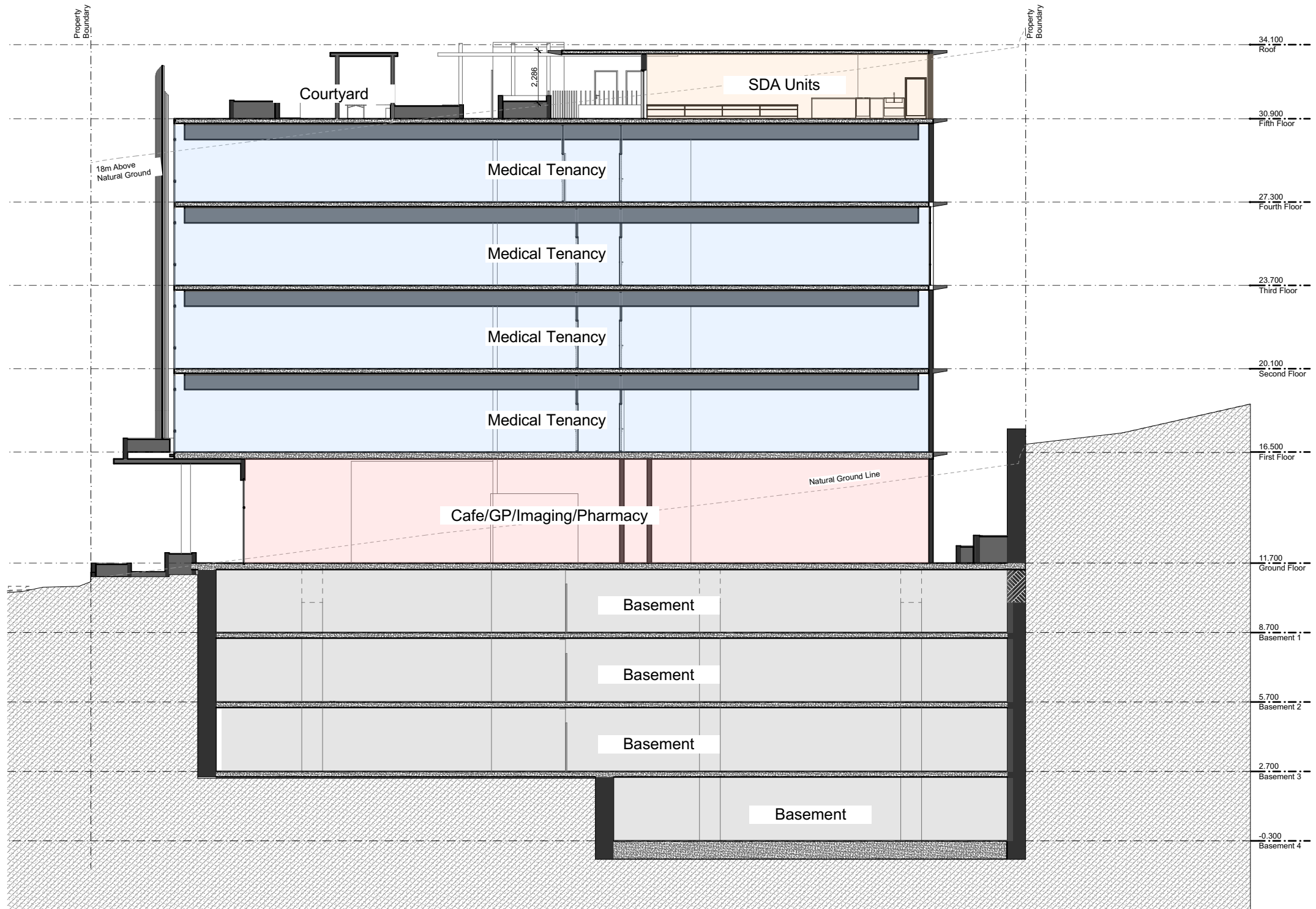


**CONC-02**  
Concrete upstand - Eastern elevation



**2** West Elevation  
- Scale 1:250





1 A Section A  
- Scale 1:200

Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

9/07/2021  
19/08/2021  
1/12/2021  
27/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

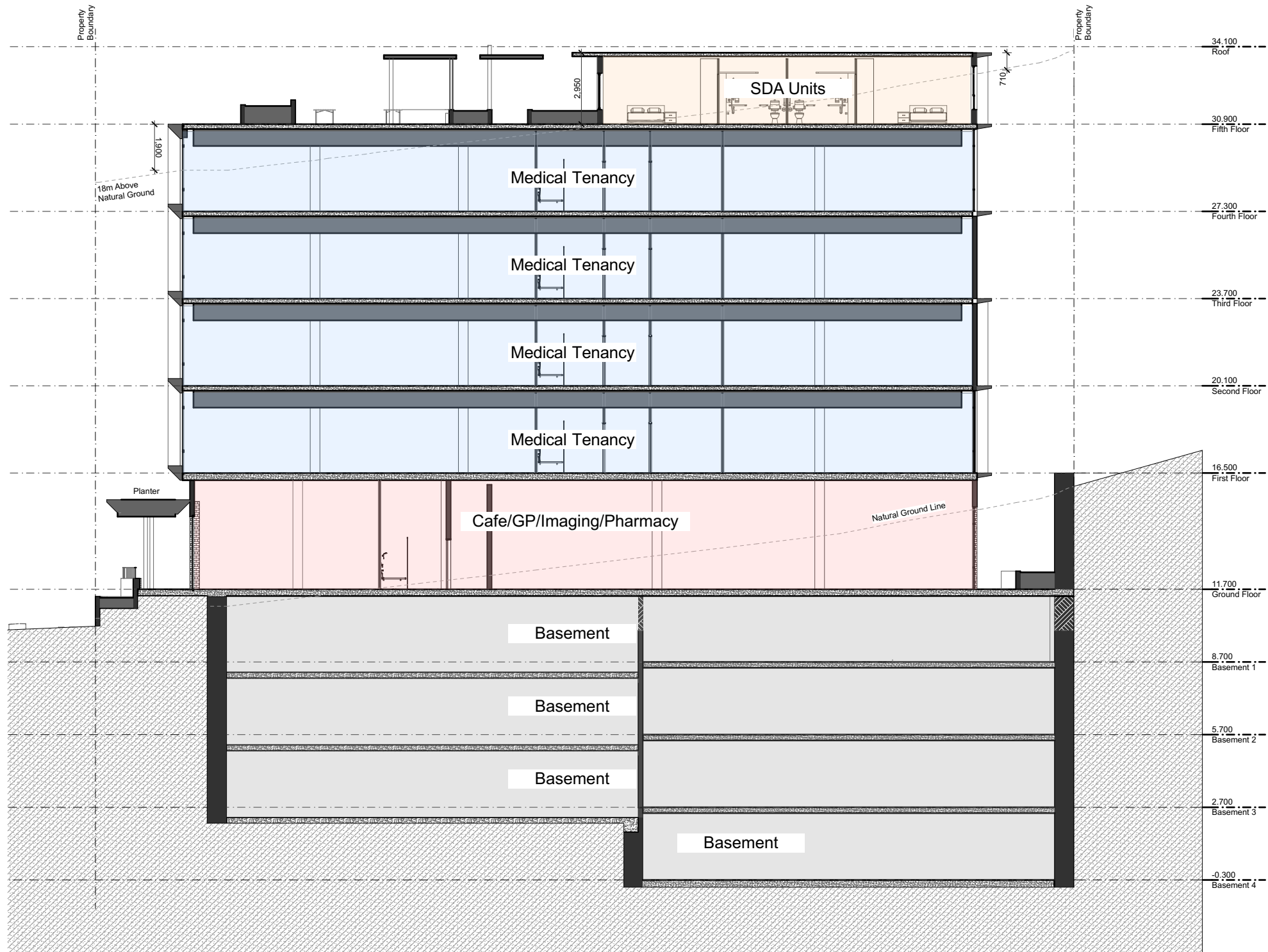
1:200 at A3

Section A

A-DA-10.01

Revision

D



1 B Section B  
- Scale 1:200

Revision

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

9/07/2021  
19/08/2021  
1/12/2021  
27/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:200 at A3

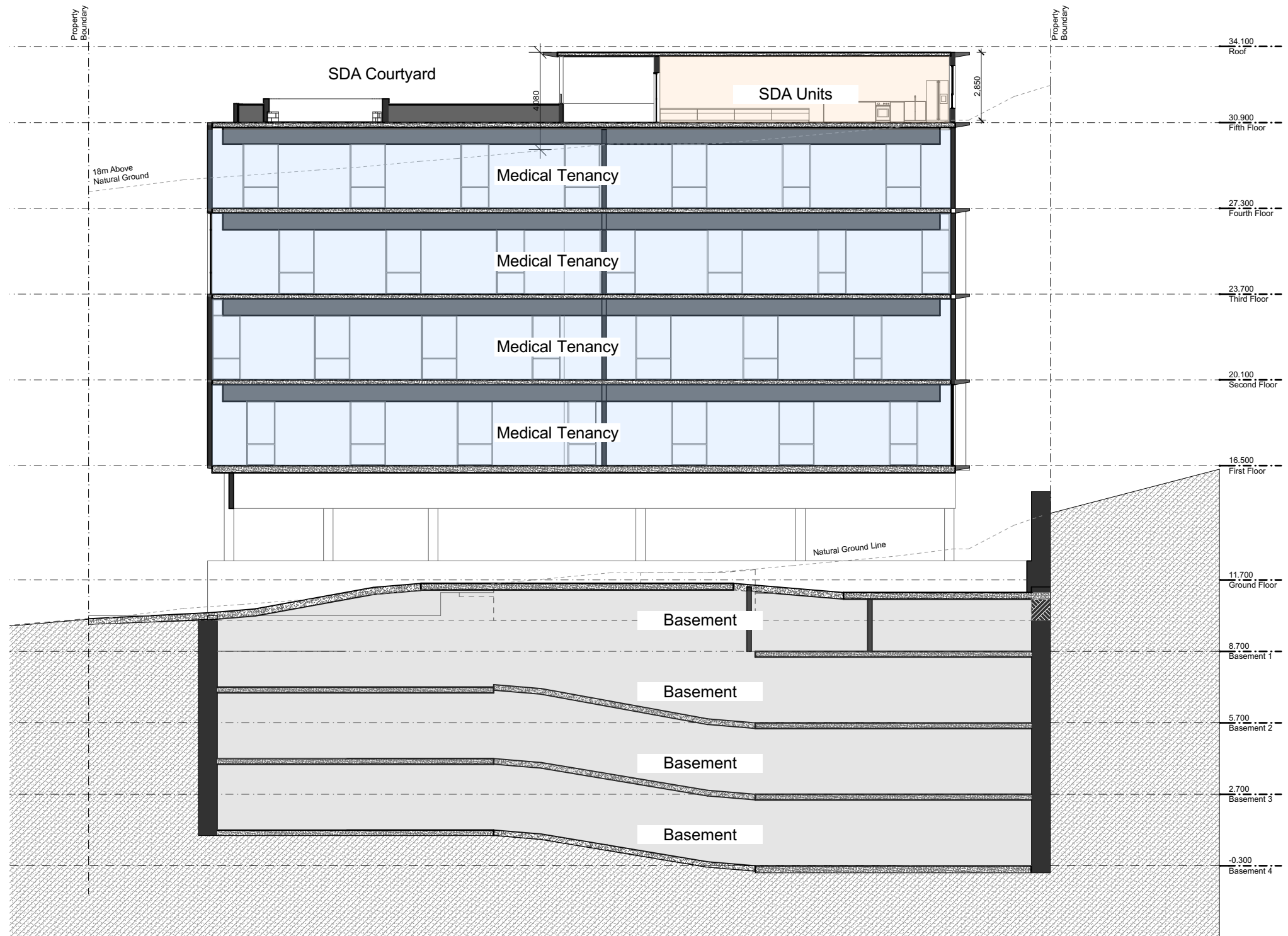
Section B

A-DA-10.02

Revision

D





**1** C Section C  
- Scale 1:200

**Revision**

A	Preliminary Drawing Set
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

9/07/2021
19/08/2021
1/12/2021
27/01/2022

**Project**

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW  
**Client**  
CHP

**Architect**

GA

**Drawn**

DS

**Stage**

Concept

**Status**

SD (NOT FOR CONSTRUCTION)

**Project No.**

1174-03

**Scale**

1:200 at A3

**Section C**

**A-DA-10.03**

**Revision**

**D**



Revision

A	Elevations & Renders
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

16/07/2021  
19/08/2021  
1/12/2021  
27/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

at A3

North-Eastern Perspective

**A-DA-22.01**

Revision

**D**









Revision

A	Elevations & Renders
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

16/07/2021  
19/08/2021  
1/12/2021  
27/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

1:125 at A3

South-Eastern Perspective

**A-DA-22.03**

Revision

**D**





Revision

A	Elevations & Renders
B	Updated Drawing Set
C	Updated Drawing Set
D	Updated Drawing Set

16/07/2021  
19/08/2021  
1/12/2021  
27/01/2022

Project

Showground Road Integrated Medical Office Building  
60, 62 & 64 Showground Road Gosford NSW

Client

CHP

Architect

GA

Drawn

DS

Stage

Concept

Status

SD (NOT FOR CONSTRUCTION)

Project No.

1174-03

Scale

at A3

Showground Road Context

A-DA-22.04

Revision

D

## **ATTACHMENT B**

Amended landscape design prepared by Terras Landscape Architects

---



**site:**

60, 62 & 64 Showground Road Gosford NSW

**proposal:**

Concept

**project no:**

13922.5

**design/drawn:**

MA

**date:**

21.01.2022

**revision: E**

# Landscape Concept

Showground Road Integrated Medical Office Building

**CHP**



## January 2022



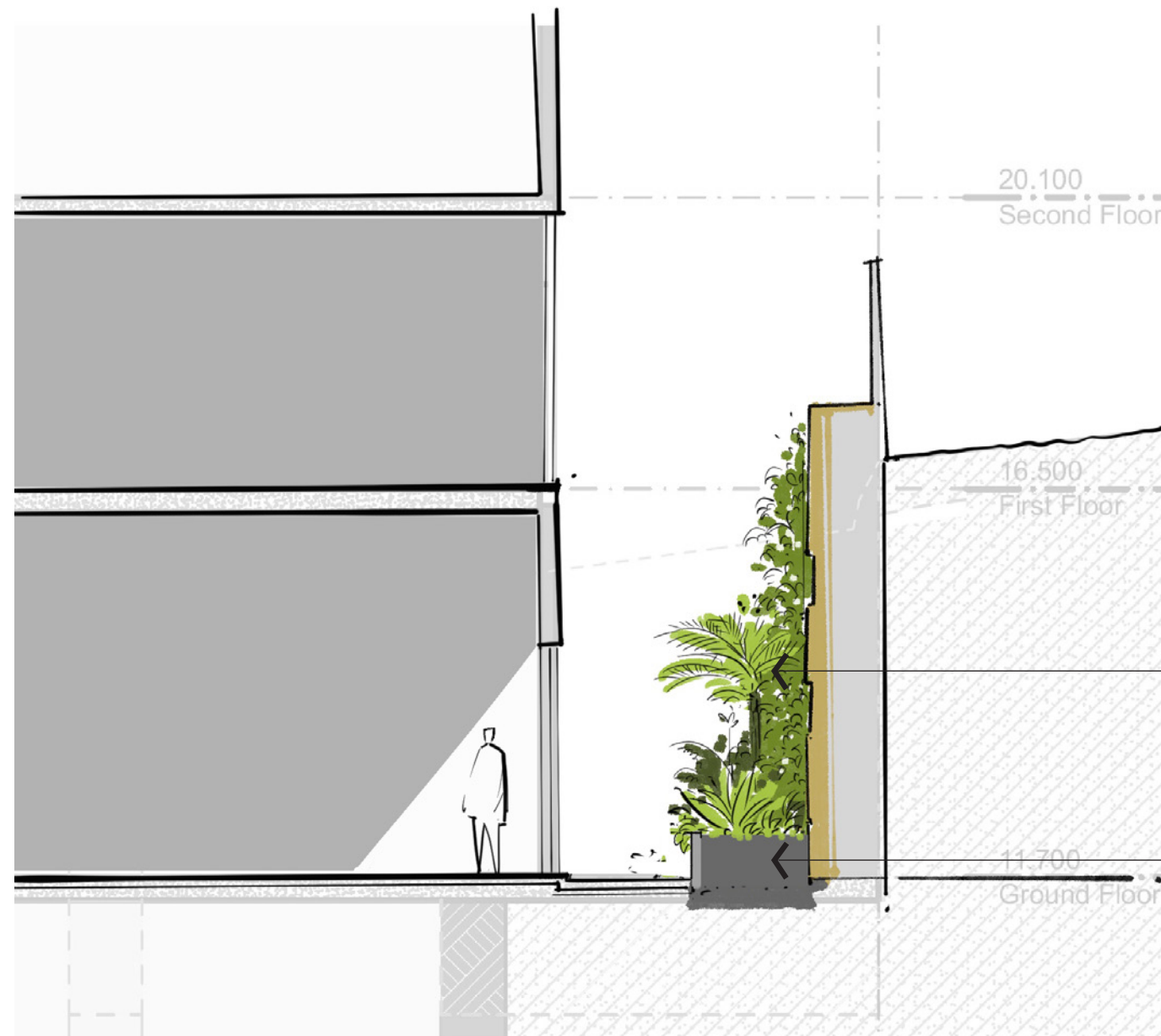


# Concept design

## ground floor retaining wall

02

January 2022



planter with creepers and shade plants with the high retaining wall

elevated planter to provide soil for plants as well as break the height of retaining wall



*philodendron xanadu*



*Zamia furfuracea*



*Dicksonia antarctica*

REV	DATE	COMMENTS
-----	------	----------

PROJECT:  
Showground Road Integrated  
Medical Office Building

SITE:  
60, 62 & 64 Showground Road Gosford NSW

CLIENT:  
CHP

DRAWN: MA	DATE: 21.01.22	SCALE: N/A
--------------	-------------------	---------------

JOB NO. 13922.5	PHASE: DA	DWG No:	REV: E
--------------------	--------------	---------	-----------

**terras**  
landscape architects  
412 king street newcastle nsw2300  
ph: 49 294 926  
fax: 49 263 069  
www.terras.com.au

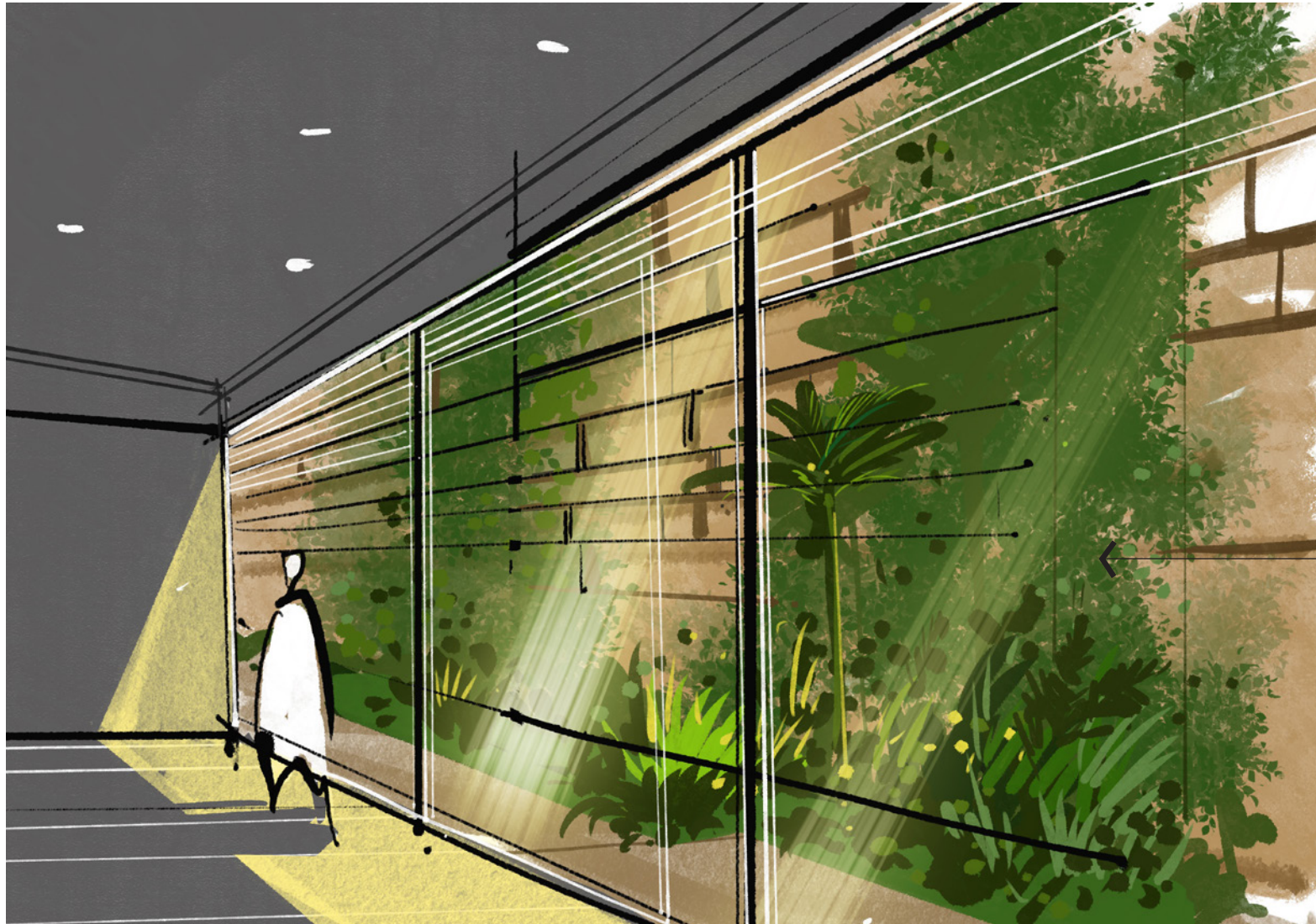


# Concept design

## ground floor retaining wall

03

January 2022



potential of having a green  
creeper wall and green soft  
edge as feature

REV	DATE	COMMENTS
-----	------	----------

PROJECT:  
Showground Road Integrated  
Medical Office Building

SITE:  
60, 62 & 64 Showground Road Gosford NSW

CLIENT:  
CHP

DRAWN:	DATE:	SCALE:
MA	21.01.22	N/A

JOB NO.	PHASE:	DWG No:	REV:
13922.5	DA		E

  
**terras**  
landscape architects  
412 king street newcastle nsw2300  
ph: 49 294 926  
fax: 49 263 069  
www.terras.com.au



# Concept design

## ground floor retaining wall

04

January 2022



REV	DATE	COMMENTS
-----	------	----------

PROJECT:  
Showground Road Integrated  
Medical Office Building

SITE:  
60, 62 & 64 Showground Road Gosford NSW

CLIENT:  
CHP

DRAWN:	DATE:	SCALE:
MA	21.01.22	N/A

JOB NO.	PHASE:	DWG No:	REV:
13922.5	DA		E

  
**terras**  
landscape architects  
412 king street newcastle nsw2300  
ph: 49 294 926  
fax: 49 263 069  
www.terras.com.au

# Concept design

## first floor

05

January 2022



REV	DATE	COMMENTS
PROJECT: Showground Road Integrated Medical Office Building		
SITE: 60, 62 & 64 Showground Road Gosford NSW		
CLIENT: CHP		

DRAWN: MA	DATE: 21.01.22	SCALE: N/A
JOB NO. 13922.5	PHASE: DA	DWG No: REV: E

elevated planter

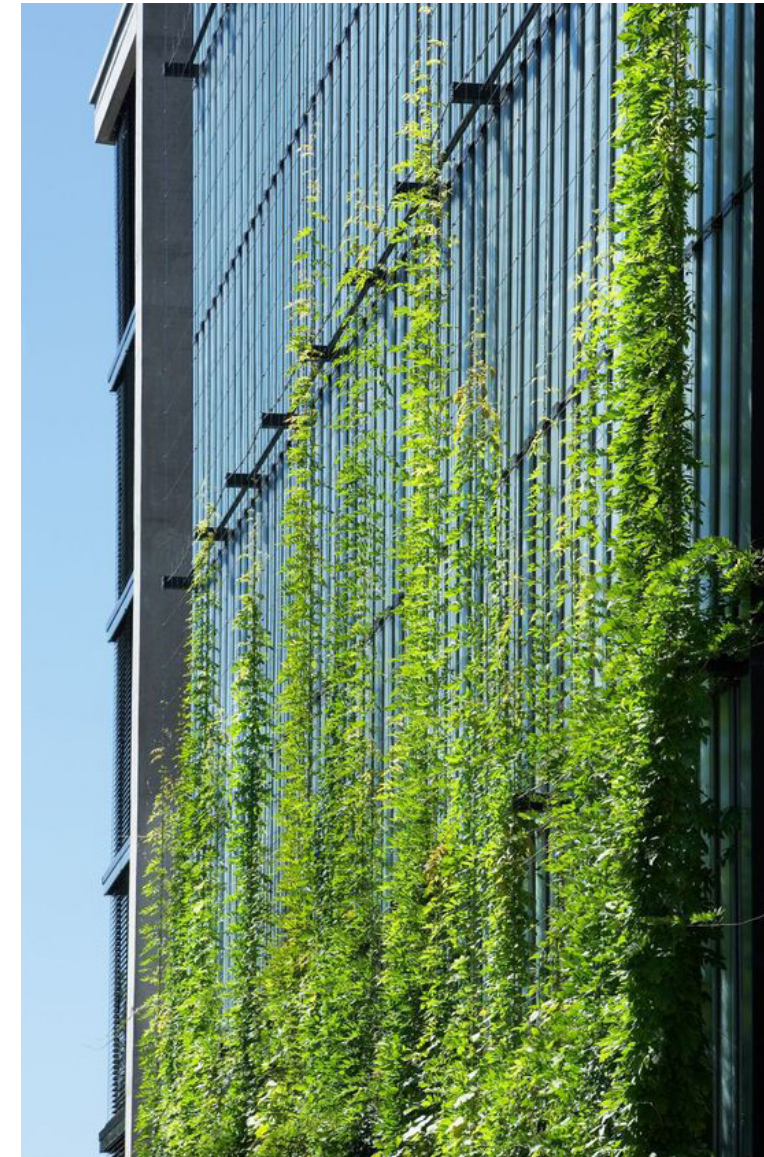
planter to create a green  
creeper wall of bougainvillea or  
star jasmine



# Concept palette creeper wall

06

January 2022



Green facade: Wire mesh & climber from planter



REV	DATE	COMMENTS
-----	------	----------

**PROJECT:**  
Showground Road Integrated  
Medical Office Building

**SITE:**  
60, 62 & 64 Showground Road Gosford NSW

**CLIENT:**  
CHP

<b>DRAWN:</b> MA	<b>DATE:</b> 21.01.22	<b>SCALE:</b> N/A
---------------------	--------------------------	----------------------

<b>JOB NO.</b> 13922.5	<b>PHASE:</b> DA	<b>DWG No:</b>	<b>REV:</b> E
---------------------------	---------------------	----------------	------------------

**terras**  
landscape architects  
412 king street newcastle nsw2300  
ph: 49 294 926  
fax: 49 263 069  
www.terras.com.au



## January 2022



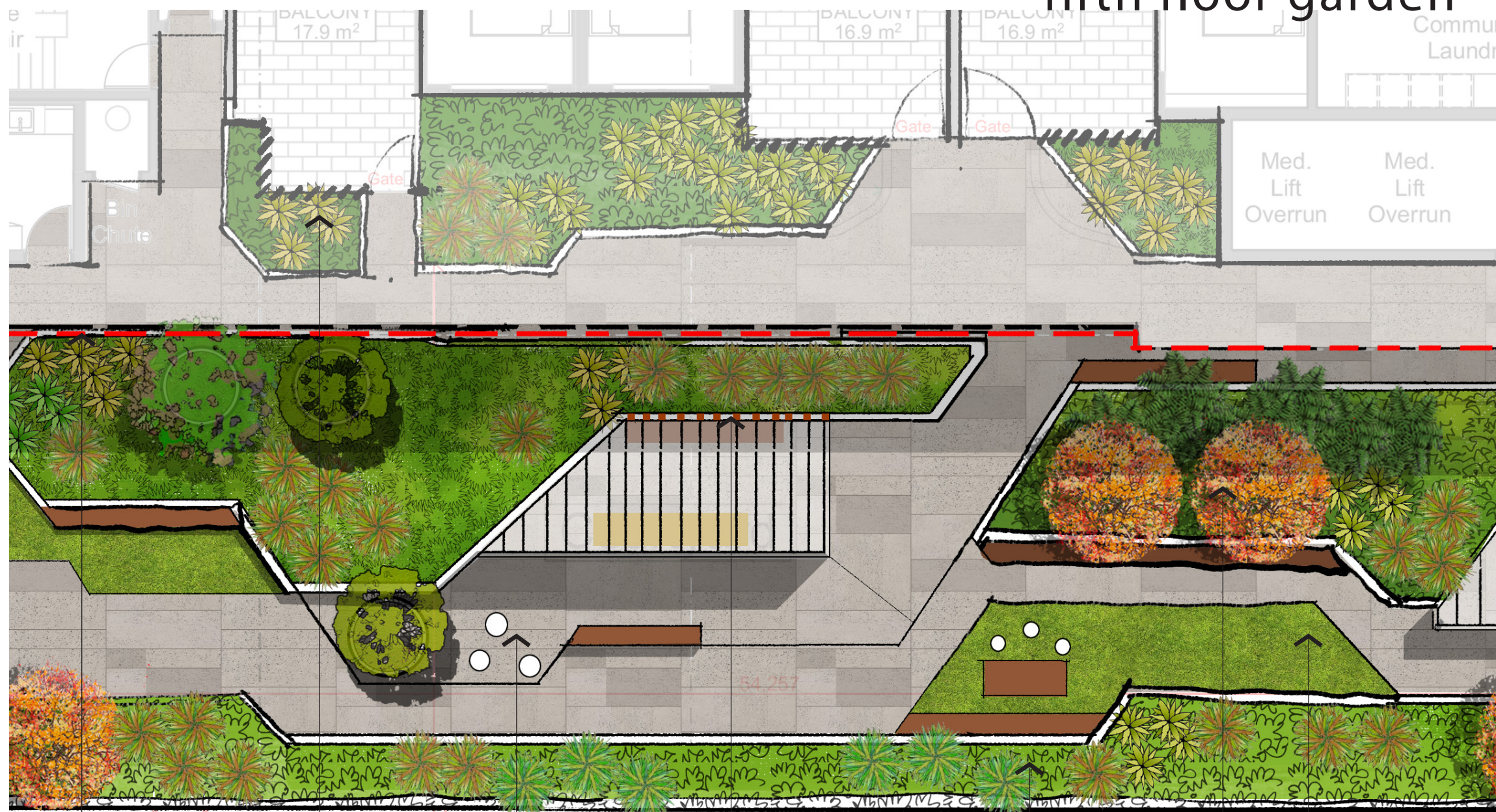


# Concept design

## fifth floor garden

08

January 2022



REV	DATE	COMMENTS
-----	------	----------

**PROJECT:**  
Showground Road Integrated  
Medical Office Building

**SITE:**  
60, 62 & 64 Showground Road Gosford NSW

CLIENT:  
CHP

DRAWN: MA      DATE: 21.01.22      SCALE: N/A

JOB NO. 13922.5      PHASE: DA      DWG No:      REV: E

13922.5 DA E



**terras**  
landscape architects

412 king street newcastle nsw2300  
ph: 49 294 926  
fax: 49 263 069  
[www.terras.com.au](http://www.terras.com.au)

Extent of roof  
over

Shade loving  
plants along the  
apartments

Seating areas for  
various size of  
group

Vertical elements for shade aligns to the repetition of the architecture blades/mullions on Level one to four

Continuous planting through the building edge to soften the building

### h Small trees in planter

Synthetic turf



# Concept palette

## precedent images

09

January 2022



Simple shade on top following architecture language



Barbeque & kitchentte



Seating areas with vertical battens behind . Protection from afternoon sun



Shade structures and seating below

REV	DATE	COMMENTS
-----	------	----------

PROJECT:  
Showground Road Integrated  
Medical Office Building

SITE:  
60, 62 & 64 Showground Road Gosford NSW

CLIENT:  
CHP

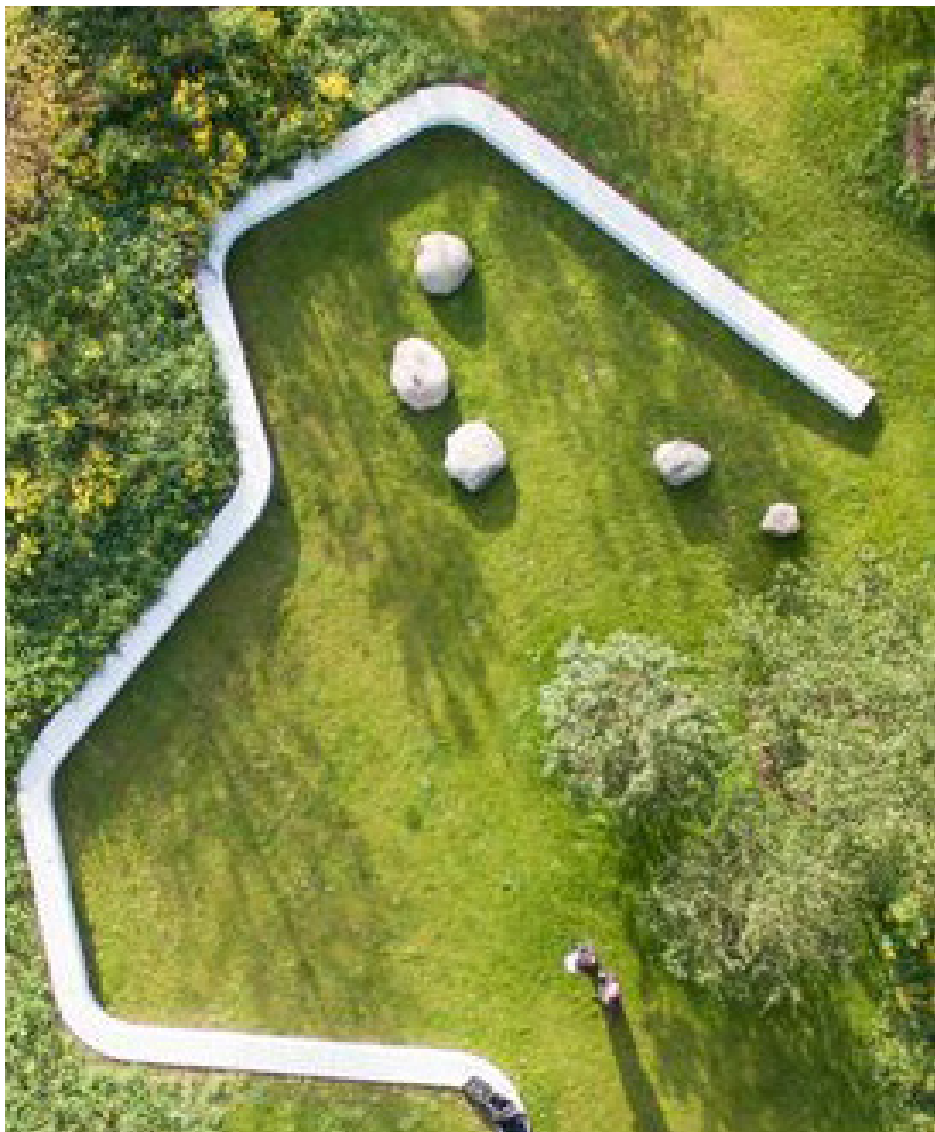
DRAWN: MA	DATE: 21.01.22	SCALE: N/A
JOB NO. 13922.5	PHASE: DA	DWG No: REV: E



# Concept palette

10

January 2022



Synthetic turf area and seating edges around



planter edge

REV	DATE	COMMENTS
PROJECT: Showground Road Integrated Medical Office Building		
SITE: 60, 62 & 64 Showground Road Gosford NSW		
CLIENT: CHP		

DRAWN: MA	DATE: 21.01.22	SCALE: N/A	
JOB NO. 13922.5	PHASE: DA	DWG No:	REV: E



# Concept palette

## Podium roof garden

11

January 2022



Planting palette



Planting palette

### Tree options

No.	Botanical Name	Common Name	Height	Width
01	<i>Magnolia grandiflora</i> 'Exmouth	Bull Bay Magnolia	8	5.0

### Mass planting

03	<i>Lomandra longifolia</i>	Mat Rush	1	0.6
04	<i>Westringia fruticosa</i> Mundi	Coastal rosemary	0.5	1.5
05	<i>Syzygium australe</i>	Lily Pilly	1.5- 2	0.8
06	<i>Gazania hybrid</i>	Cream lea	1.5	1.0
07	<i>Dietes iridioides</i>	Dietes	0.6	0.6
08	<i>Liriope muscari</i> 'Isabella'	Liriope Isabella	0.4	0.4
09	<i>Banksia spinulosa</i>	Hair pin banksia	1.5	0.3
10	<i>Myoporum parvifolium</i>	Creeping boobialla	0.6	0.9
11	<i>Senecio serpens</i>	Blue chalk stick	0.5	1.0
12	<i>Alcantarea imperialis</i>	bromeliads	1 m	0.9



*Lomandra longifolia*  
'Katrinus'



*Myoporum parvifolium*



*Dietes iridioides*



*Magnolia grandiflora* 'Exmouth'

REV	DATE	COMMENTS
-----	------	----------

PROJECT:  
Showground Road Integrated  
Medical Office Building

SITE:  
60, 62 & 64 Showground Road Gosford NSW

CLIENT:  
CHP

DRAWN: MA	DATE: 21.01.22	SCALE: N/A
JOB NO. 13922.5	PHASE: DA	DWG No: REV: E

  
**terras**  
landscape architects  
412 king street newcastle nsw2300  
ph: 49 294 926  
fax: 49 263 069  
www.terras.com.au